

## CHAPTER 16

### OFF-STREET PARKING AND OFF-STREET LOADING

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#### SECTION 1600. PURPOSE

The parking and off-street loading requirements stated in this Chapter and throughout this Ordinance reflect the need created by each use and establish standards for the functional design of such facilities. Parking design standards are intended to provide the necessary vehicular space in an orderly and aesthetically pleasing manner, to reduce congestion on City or County streets and to minimize the impact on adjacent land uses.

#### SECTION 1601. APPLICABILITY OF REQUIREMENTS

Construction of Off-Street Parking and Off-Street Loading Facilities is required as follows:

##### A. New Buildings and Uses

All buildings and structures constructed and all uses of land established after the effective date of this Ordinance must provide parking and loading facilities as required by the applicable Use Unit. (See Chapter 15, Use Units)

##### B. Increase in the Intensity of Use of a Building or Structure

1. Any increase in the intensity of use of any building or premises requires an increase in the required parking and loading facilities.

2. Any change in intensity or the addition of dwelling units, change in floor area, change in seating capacity, or change of other units of measurement specified within this Ordinance which require parking or loading facilities requires an increase in the required parking and loading facilities.
- C. Change of Use
1. Upon a change of use of an existing building or structure to a new use, parking and loading facilities must be provided as required for such new use.
  2. However, if the existing use is nonconforming as to parking requirements, then parking requirements for a change in use will be regulated by Section 1707, Parking and Loading Nonconformities.

## **SECTION 1602. BASIC REQUIREMENTS ESTABLISHED**

A. Minimum Facilities Established

Off-street parking and off-street loading facilities whether principal uses, accessory uses, or a minimum requirement which results from the initiation, enlargement, or change of use, shall meet the requirements of this Chapter and Chapter 15, Use Units. These requirements shall be met unless modified by Section 1604, Multiple and Simultaneous Uses.

B. Location of Required Off-street Parking Spaces and Off-street Loading Berths

1. Required off-street parking spaces and off-street loading berths must be located on the lot containing the use for which the required spaces or berths are provided; or
2. Upon approval of a Special Exception from the Board of Adjustment, required off-street parking space may be located within 200 feet by route of direct pedestrian access from the principal uses they serve and shall have direct access to a street or an alley.

C. Surface Material

Unenclosed off-street parking areas (spaces, aisles and connecting driveways) and off-street loading berths must be surfaced with an all-weather material as defined in Chapter 21, Definitions, except as otherwise provided in Section 1608.C.

**D. Completion of Facilities Prior to Use**

Construction of required off-street parking, including surfacing, shall be completed prior to the initiation of the use.

**E. Reduction of Off-Street Parking Facilities**

No existing off-street parking or loading facilities shall be reduced in capacity below the minimum requirements for a similar new building or use as provided by this Ordinance. If such parking is already less than required, the facilities shall not be reduced further.

**F. Enclosed Off-Street Parking and Loading Areas**

Required enclosed off-street parking and loading areas (parking garages, etc.) shall meet the bulk and area requirements of the Zoning District in which located. However, required enclosed off-street parking and loading areas shall not be included in the computation of the permitted floor area.

**G. Special event parking areas are permitted accessory only to Use Unit 2 uses and shall comply with the following conditions:**

1. Special event parking shall not be used for more than 20 days in any calendar year.
2. Special event parking can not occur for more than 10 days in any 30 day Period;
3. Special event parking shall be setback at least 50 feet from any abutting residentially zoned lot or PUD Designated Residential Development Area;
4. All special event parking areas shall be on the same lot or lots approved for principal Use Unit 2 use to which they area accessory; and
5. The number of days per year and the number of days within a 30 day period that special event parking is permitted may be increased with Board of Adjustment approval as a Special Exception.

**SECTION 1603. USE OF REQUIRED OFF-STREET PARKING SPACES AND OFF-STREET LOADING BERTHS**

Required off-street parking spaces and off-street loading berths must not be used for the location of signs or the storage, sale, dismantling, or servicing of any vehicle, equipment, materials or supplies.

**SECTION 1604. MULTIPLE AND SIMULTANEOUS USES**

- A. For simultaneous use of sites or structures which allow more than one (1) use the parking requirements shall be the sum of the spaces required for each use except as otherwise provided herein.
- B. Commercial mixed use developments with more than 200,000 total gross square feet of floor area are entitled to a 10% reduction in the required number of off-street parking spaces.

**SECTION 1605. SETBACKS**

- A. Off-Street Loading Areas Setback from Abutting AR and R Districts

Off-street loading areas shall not be located within 10 feet of any abutting property in an AR or R District unless completely enclosed within a building or screened on all sides abutting the AR or R District by a screening wall or fence.

- B. Unenclosed Off-street Parking Areas that are Accessory to Use Unit 8

Unenclosed off-street parking areas (including parking aisles) that are accessory to any Use Unit 8, Multifamily and Similar Uses must be setback at least 25 feet from any abutting AR or RS District.

- C. Setbacks from Abutting Street

Unenclosed off-street parking and loading areas must be setback from abutting streets as set forth in Table 16-1 below.

Table 16 - 1

**Off-Street Parking and Loading Area Setbacks from the  
Centerline of Abutting Streets\***

	<b>Parking Area 1 to 5 Spaces</b>	<b>Parking Area 6 or More Spaces</b>	<b>Loading Area</b>
<b>In an R District</b>			
Accessory to a dwelling	25 ft.	25 ft.	NA
Accessory to another use	20 ft.	25 ft.	25 ft.
<b>Not in an AR or R District, but within 50 feet of an AR or R District</b>	20 ft.	25 ft.	25 ft.

\*If the right-of-way width designated on the Major Street Plan exceeds 50 feet, add one-half (1/2) of the amount by which the designated right-of-way exceeds 50 feet.

**SECTION 1606. GENERAL DESIGN CRITERIA FOR OFF-STREET PARKING  
AREAS**

**A. Space Allocation**

1. Space allocated to any required off-street loading berth shall not be used to satisfy the space requirements for any off-street parking facilities.
2. Space allocated to required off-street parking areas shall not be used to satisfy the space requirements for off-street loading facilities.

**B. Each required parking space shall be accessible from a public street without passing through another required space except for single-family use in the AR, RS or RST Districts.**

**C. Driveways**

1. On lots having a frontage of 50 feet or less only one (1) combined entrance/exit is permitted.
2. On lots having a frontage in excess of 50 feet, but less than 200 feet, not more than two (2) combined entrances/exits are permitted.

3. On property with frontage in excess of 200 feet additional drives may be permitted but only when the traffic generated by the use warrants the additional drives. Additional drives shall be approved by the City or County Engineer.
- D. No parking spaces shall be permitted to be constructed within the Sight Distance Triangle. (See Section 212 and Figure 2-1.)

E. Adequate Maneuvering Area

Parking areas must be designed and constructed to provide adequate maneuvering areas on site. Backing onto or off of the street right-of-way is prohibited.

F. Lighting

Lighting used to illuminate an off-street parking area shall be arranged to direct the light away from properties within an AR or R District which do not contain uses for which the parking is being provided.

G. Screening Wall or Fence

Parking areas shall be screened in accordance with the appropriate Use Unit requirements in Chapter 15 and as follows:

1. Unenclosed off-street parking areas shall be screened by the construction of a screening wall or fence on the lot line or lines in common with an AR or R District. (See Section 216, Screening Walls or Screening Fence.)
2. Unenclosed off-street parking areas containing six (6) or more spaces which are accessory to uses not required to provide screening shall be screened by the construction of a screening wall or fence on the lot line or lines in common with an AR or RS District. However, if the parking area is located more than 25 feet from the AR or RS lot line, the screening requirement does not apply. (See Section 216, Screening Walls or Screening Fence.)

### **SECTION 1607. DESIGN STANDARDS FOR OFF-STREET PARKING AREAS**

After the effective date of this Ordinance all newly constructed parking areas shall meet the following standards:

- A. All required off-street parking spaces shall have a vertical clearance of at least seven (7) feet;

- B. Handicapped off-street parking spaces shall be provided in size and number as specified in the Building Code;
- C. Required off-street parking spaces shall be at least 8.5 feet in width and 18 feet in length exclusive of access drives and aisles; and
- D. Parking layout dimensions for required off-street parking spaces and aisles shall be in accordance with or in proportion to the minimum standards set forth in Figures 16-1 through 16-4 which follow:

**FIGURE 16-1**

**PARKING LAYOUT DIMENSIONS FOR 8.5' AND 9.0' STALL WIDTHS AT VARIOUS ANGLES WITH ONE-WAY AISLES (MINIMUM STANDARDS)**

A	B	C	D
45°	8.5	18.0	12.0
	9.0	18.0	12.0
60°	8.5	18.0	16.0
	9.0	18.0	16.0
75°	8.5	18.0	21.0
	9.0	18.0	21.0

A = Stall Angle  
 B = Stall Width  
 C = Stall Length  
 D = Aisle Width

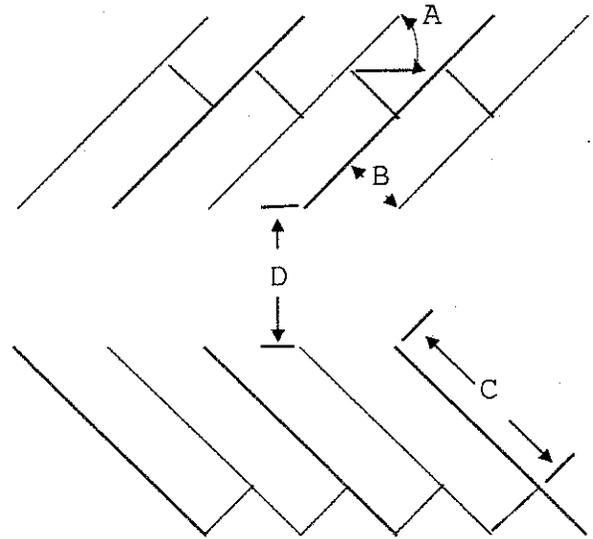
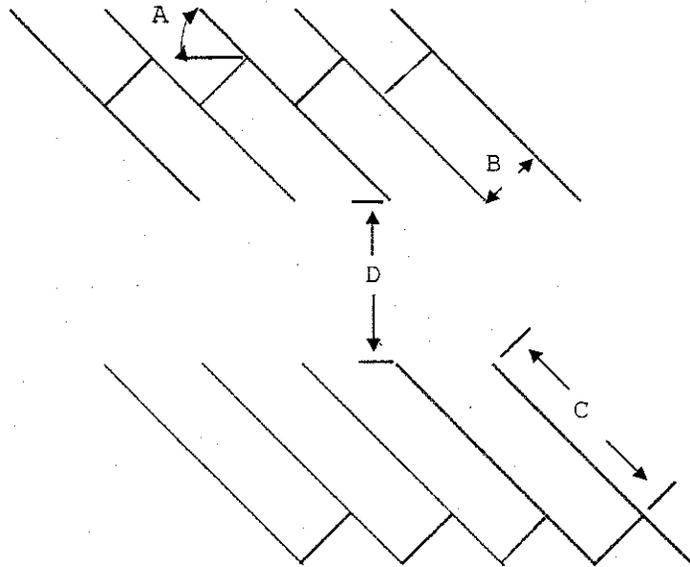


FIGURE 16-2

**PARKING LAYOUT DIMENSIONS FOR 8.5' AND 9.0' STALL WIDTHS AT VARIOUS ANGLES WITH TWO-WAY AISLES (MINIMUM STANDARDS)**

A	B	C	D
45°	8.5	18.0	20.0
	9.0	18.0	20.0
60°	8.5	18.0	21.0
	9.0	18.0	21.0
75°	8.5	18.0	22.0
	9.0	18.0	22.0

A = Stall Angle  
 B = Stall Width  
 C = Stall Length  
 D = Aisle Width

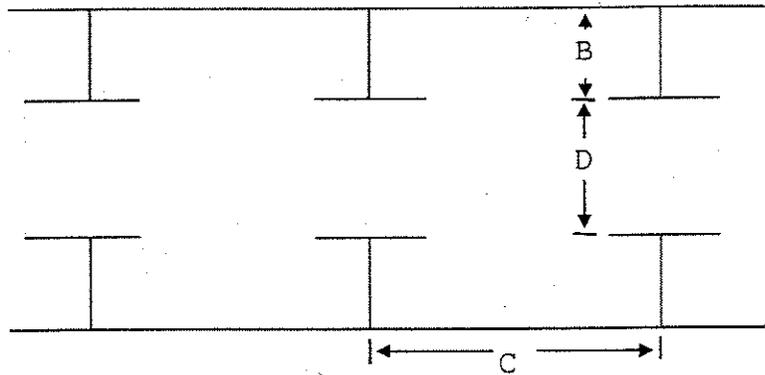


**FIGURE 16-3**

**PARKING LAYOUT DIMENSIONS AT 0 DEGREE ANGLE  
(MINIMUM STANDARDS)**

A	B	C	D
0°	8.5	24.0	12.0 (24.0)
	9.0	24.0	12.0 (24.0)

- A = Stall Angle
- B = Stall Width
- C = Stall Length
- D = Aisle Width

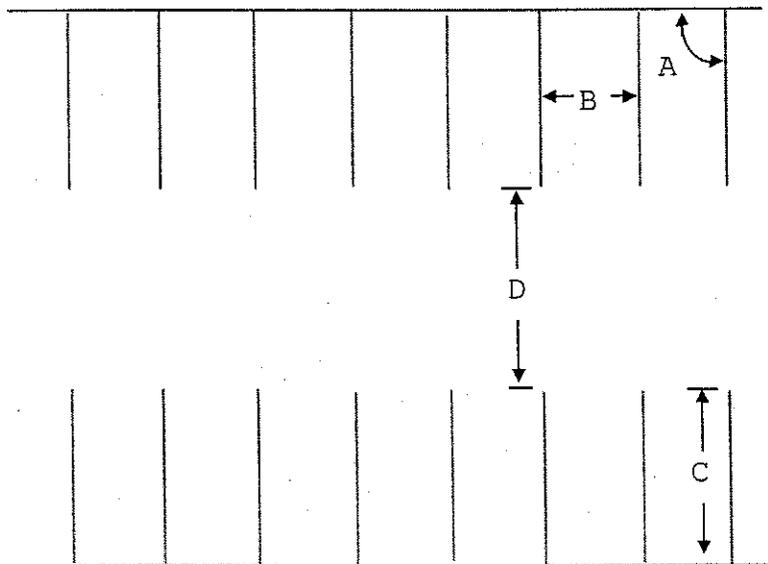


**FIGURE 16-4**

**PARKING LAYOUT DIMENSIONS AT 90 DEGREE ANGLE  
(MINIMUM STANDARDS)**

A	B	C	D
90°	8.5	18.0	24.0
	9.0	18.0	24.0

- A = Stall Angle
- B = Stall Width
- C = Stall Length
- D = Aisle Width



**SECTION 1608. DESIGN STANDARDS FOR OFF-STREET LOADING AREAS**

- A. Unless otherwise specified, a required off-street loading berth shall be:
  - 1. At least ten (10) feet in width and 30 feet in length, exclusive of aisles; and
  - 2. Shall have a minimum vertical clearance of 14 feet.
- B. Required off-street loading berths must have access to and from a public street or alley by an access drive at least ten (10) feet in width. Any required access drive must be designed to permit convenient access by semi-trailer trucks.
- C. Unenclosed off-street parking areas (spaces, aisles and connecting driveways) and off-street loading berths must be surfaced with an all-weather material as defined in Chapter 21, Definitions, except for non-required special event parking areas which must meet the requirements of Section 1602.G.
- D. Unenclosed off-street loading berths shall not be located within 25 feet of any property in an AR or R District unless it is screened on all sides abutting the AR or R District by a screening wall or fence.
- E. Lighting used to illuminate an off-street loading area shall be arranged to direct the light away from the properties within an AR or R District which do not contain uses for which the loading area is being provided.

**SECTION 1609. NO SPECIFIED PARKING REQUIREMENTS**

- A. If uses have no parking requirements specified in Chapter 15, Use Units, and the Building Inspector or City Engineer or County Engineer determines parking requirements are necessary, the Board of Adjustment shall determine the parking demand generated by the proposed use which shall be the off-street parking requirement for that specific use.
- B. No off-street parking is required for uses in the C-3 District.

**SECTION 1610. REVIEW AND APPROVAL OF PARKING PLANS**

An application for a Building Permit or Certificate of Occupancy, for uses other than one (1) or two (2) family developments, requires in addition to the building plans, the plans and specifications for required parking areas as follows:

- A. The plan is to be drawn to a standard engineers scale of 1:20, 1:40 or 1:50.
- B. Information to be included on the plan or submitted with the plan shall include:
  - 1. All means of vehicle access to and from parking area;
  - 2. Rights-of-way and easements;
  - 3. Street centerlines;
  - 4. Parking stalls and access aisles with handicapped and any other special uses indicated;
  - 5. Loading berths;
  - 6. Connecting driveways;
  - 7. Curb lines;
  - 8. Landscape plans; and
  - 9. Screening.
- C. All relevant dimensions and traffic patterns shall be noted on the plan.
- D. Before the Building Permit is issued, the parking area plans shall be approved by the Building Inspector, City Engineer, or County Engineer.
- E. All parking areas shall be inspected and approved by the Building Inspector, City Engineer, or County Engineer as being constructed according to the approved plan before a Certificate of Occupancy will be issued.

**SECTION 1611. PARKING OR STORAGE OF VEHICLES ON OTHER THAN APPROVED PARKING SURFACES**

- A. Parking or storage of vehicles (See Section 223, Parking of Motorized Vehicles.)
- B. The parking or storage of wreckers, buses for hire (excluding school buses used primarily for transporting school children), or trucks or semi-trailers with more than three (3) axles on or adjacent to any lot in an AR or R and O Zoning Districts shall not be permitted. In addition, these vehicles may not park on the drive or in the front yard between the front of the residence and the street or in front of the residence on the street in a recognized subdivision in a AR or R Zoning District.
- C. The parking of recreational vehicles in AR or R Zoning Districts is regulated by Section 402.B.8, Parking and Storage of Recreational Vehicles.
- D. The parking of inoperative or unlicensed vehicles is regulated by Section 211.C, Use of Yards in AR or R Districts.